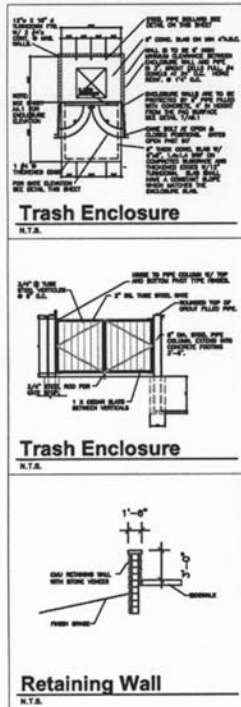


The proposal is to sensibly and sensitively develop a two-story office project in an architectural vernacular similar to the adjoining residential and commercial properties within MMR. A preliminary site plan for the subject site was approved by the Scottsdale City Council in January 2000 as part of a larger zoning case and the subject proposal although in general conformity improves upon that original plan. The design team has sincerely attempted to be sensitive to surrounding residential areas and specifically the residents adjoining the property to the west. The proposal successfully addresses the following site planning challenges: placement of buildings as far away from the closest residential units west of the site; placing low activity areas nearest adjoining residential areas; maintaining a 50' landscape area along Thompson Peak Parkway; maintaining a large natural open space along the wash in the southern portion of the site; and maintaining the MMR preferred design approach of placing buildings along the street frontage and screening parking areas behind buildings and away from street frontages.

The building elements were gleaned from both residential and commercial projects within MMR and include the following: muted desert colors; varied exterior wall planes that move horizontally and vertically; varied roof treatments that include both parapet walls with coping and pitched roof sections at the building core; stone-faced battered building wall accents; metal railings and accents; and shaded walkways along the building's western entrances. The design has also been broken into two smaller building components connected by a second floor walkway served by the centrally located elevator core. Exterior window openings are minimized and recessed to provide solar shading and visual interest. Site lighting will be limited to the low-level bollard lighting used throughout the MMR pathway system. Landscaping will be consistent with the MMR desert plant palette.

**66-DR-2003**  
**9-8-03**



## Keynotes

1. 8'-0" COVERED WALKWAY.
2. ELEVATOR AND RESTROOMS.
3. FIRE RISER LOCATION.
4. SERVICE ENTRANCE SECTION LOCATION.
5. ELEVATOR EQUIPMENT ROOM.
6. PROPOSED BUILDING ENTRANCES/EXITS.
7. SECOND FLOOR BALCONY.
8. CMU RETAINING WALL WITH STUCCO FINISH. SEE DETAIL.
9. TRASH ENCLOSURE. SEE DETAILS.
10. EXISTING WATER LINE EASEMENT.
11. EXISTING 24" CONCRETE PIPE.
12. 75' RIGHTS-OF-WAY.
13. EXISTING FIRE HYDRANT.
14. EXISTING RETAINING WALL.
15. EXISTING CONCRETE CURB AND GUTTER.
16. EXISTING ACCESSIBLE CONCRETE RAMP AT INTERSECTION.
17. PROPERTY LINE.
18. CONCRETE DRIVEWAY.
19. ASPHALT PAVING AT PARKING AND VEHICLE CIRCULATION AREAS.
20. 6" CONCRETE CURB.
21. STANDARD PARKING STALL WITH 4" PAINTED WHITE STRIPES.
22. PAINTED ACCESSIBLE ROUTE.
23. SITE LIGHTING.
24. 30' MINIMUM WIDE FIRE LAKE WITH 2'-0" OVERHANG.
25. PARKING SPACE: 9'-0" WIDE WITH 2'-0" OVERHANG.
26. HANDICAPPED PARKING WITH PAVEMENT MARKING AND POLE SIGNAGE.
27. LANDSCAPE ISLAND OR AREA.
28. 50' FRONTAGE RETRACTION.
29. ACCESSIBLE ROUTE TO P.D.W. FROM BUILDING EXITS/ENTRANCES.
30. EXISTING WROUGHT IRON FENCE.
31. EXISTING WATER METER.
32. EXISTING WATER VALVE.
33. PROPOSED CONCRETE CURB AND GUTTER.
34. 8 BICYCLE PARKING SPACES.
35. 8' WIDE SIDEWALK.
36. BIGHT VISIBILITY TRIANGLE.
37. 3'-0" SCREEN WALL.
38. ACCESSIBLE PARKING AND ACCESSIBLE ROUTE SURFACE SHALL BE FLUSH WITH SIDEWALK SURFACE. SLOPE OF ACCESSIBLE PARKING AND ACCESSIBLE ROUTE TO SIDEWALK SHALL NOT EXCEED 1:50.
39. COVERED PARKING.
40. DRAINAGE EASEMENT. SEE CIVIL PLAN FOR EXACT LOCATION.

## Project Information

**EXISTING ZONING ON SITE:** S-R  
**PROPOSED ZONING ON SITE:** S-R  
**ZONING CASE NUMBER:** 4933-PA-0049

**GROSS FLOOR AREA:** BUILDING A = 11,304 SQ. FT.  
 BUILDING B = 7,810 SQ. FT.  
 RESTROOM & ELEVATOR = 685 SQ. FT.  
 TOTAL = 19,800 SQ. FT.

**NET FLOOR AREA:** 18,000 SQ. FT.

**OPEN SPACE CALCULATIONS:**  
**REQUIRED OPEN SPACE:**  
 24% X NET LOT AREA  
 24 X 78,880 SQ. FT. = 18,123 SQ. FT.  
**OPEN SPACE PROVIDED (NOT INCLUDING LOT LANDSCAPING):**  
 18,123 SQ. FT. (24 %)  
**OPEN SPACE PROVIDED:** 18,123 S.F.

**SITE ACREAGE:** GROSS = 85,888 SQ. FT. (2.00 AC.)  
 NET = 78,880 SQ. FT. (1.80 AC.)

**PARKING CALCULATIONS:** 1 PER 300 S.F. (EXCLUDE STORAGE & RESTROOMS)  
**REQUIRED PARKING SPACES:**  
 18,000 S.F. / 300 = 60.0 SPACES, PLUS 1 VAN ACCESSIBLE AND 2 ACCESSIBLE SPACES.  
**PROVIDED PARKING SPACES:**  
 64 SPACES, INCLUDING 1 VAN ACCESSIBLE AND 2 ACCESSIBLE SPACES.  
**REQUIRED BICYCLE PARKING:**  
 1 BICYCLE SPACE PER 15 REQUIRED VEHICULAR PARKING SPACES.  
 60.0 / 15 = 4 REQUIRED BICYCLE PARKING SPACES.  
**PROVIDED BICYCLE PARKING:**  
 8 BICYCLE PARKING SPACES.



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**Offices @**  
**McDowell Mountain**  
 Scottsdale, AZ  
 10.8.03  
**PHX-512**

**A1.1**  
 Site Plan



## LANDSCAPE SCHEDULE

Botanical / Common Name	Size	Quantity	Remarks
<b>REVEGETATION PLANT MATERIAL</b>			
<b>TREES</b>			
CARDESSA gigantea Saguaro	412/10	9	Spikes Only Purchase & Material per Arizona Law
TRANSPLANTED SPECIMEN Saguaro	Varies	See Plan	Refer to Native Plant Inventory
CERCOCARPUS floridanus Blue Palo Verde	150/24" Box	15	7H x 4W x 2.0' Cal. (Min.)
CECIDIUM praeceus Sonoran Palo Verde - Standard	150/24" Box	7	7H x 4W x 2.0' Cal. (Min.)
QUINCYA tomentosa Ironwood	24" Box	7	7H x 4W x 2.0' Cal. (Min.)
PROSOPIS juliflora Arizona Nettle	150/24" Box	24	7H x 4W x 2.0' Cal. (Min.)
SOPHORA acuminata Texas Mountain Laurel	24" Box	5	6H x 4W x 1.0' Cal. (Min.)
ACACIA greggii Conecrista Wattle	24" Box	3	6H x 4W x 1.0' Cal. (Min.)

REVEGETATION AREA: TRANSPLANTED NATIVE TREES, SHRUBS & CACTI. SHRUBS & CACTI TO BE PER ZONING ORDINANCE 10.501.A, where Distance between Plants or Plant Canopies (CONTAINER PLANTS) cannot exceed 7' in any one direction. HYDROSEED WITH SEED NATIVE TO THE SONORAN DESERT and material on the E.S.L.O. PLANT LIST.

TRANSPLANTED NATIVE TREES & CACTI  
SEE NATIVE PLANT INVENTORY PLAN

N.A.O.S. / NATURAL AREA OPEN SPACE  
PROTECT FROM CONSTRUCTION per  
City of Scottsdale N.A.O.S. Ordinance.

SAGUAROS TRANSPLANTED  
FROM SITE

<b>SHRUBS / ACCENTS</b>			
AMERODIA arborescens Triangle-leaf Borage	5 Gal.	5	As Shown
AGAVE americana Twin Flowered Agave	5 Gal.	5	As Shown
AGAVE viviparous Octopus Agave	5 Gal.	5	As Shown
AGAVE desertiana Agave desertiana	5 Gal.	8	2-1/2' O.C.
BALFOURIA multiflora Deer's Marigold	1 Gal.	80	2' O.C.
CALLIPHYLLIS arborescens Phil Faly Cluster	1 Gal.	26	4' O.C.
CRYSANTHEMUM occidentale Clematis	1 Gal.	91	2-1/2' O.C.
DASYLIRION acrotriche Green Desert Spoon	5 Gal.	8	
DALEA frutescens "Sierra Negra" Black Dalea	5 Gal.	12	3-1/2' O.C.
ECHEINOCACTUS griseus Native Desert Cactus (Faintest)	5 Gal.	1	
ENCINIA farinosa Green Devil Bush	5 Gal.	52	4' O.C.
BULBINE frutescens Shrubby Bulbine	5 Gal.	10	
OCOTILLO splendens Cocotillo	5 Gal.	54	As Shown
LANTANA camara "Gold Mount" Gold Mount Lantana	5 Gal.	17	3-1/2' O.C.
LARREA tridentata Greenside Bush	5 Gal.	17	5' O.C.
OPUNTIA santa-rita "Tubac" Santa Rita Prickly Pear "Tubac"	5 Gal.	17	As Shown
OPUNTIA basilaris Teddy Bear Cholla	5 Gal.	45	*Container size dependent 2' high w/10 arms min.
PERISTEMON salsum Firecracker Penstemon	1 Gal.	32	
EREMOPHILA sp. Valentine	5 Gal.	75	4' O.C.
LEUCOPHYLLUM lanuginosum Ochotilla Sage	5 Gal.	413	4' O.C.
RUELLIA portulacastri Desert Rue	5 Gal.	39	3' O.C.
RUELLIA brittaniana Blue Rue	5 Gal.	115	4' O.C.
RUELLIA brittaniana "Karl" Karl's Rue	5 Gal.	44	3' O.C.
SALVIA greggii Autumn Sage	5 Gal.	16	3' O.C.
HYMENOCYCLUS aculeatus Angelita Daisy	1 Gal.	348	2' O.C.
ZEPHYRANTHESS candida White Rain Lily	1 Gal.	27	2-1/2' O.C.
<b>MISC.</b>			
DECOMPOSED GRANITE 1/4" minus APACHE BROWN Decomposed Granite	---	2" deep, All Planting Areas	
GRANITE BOLLERS Surface Select Bollers	15' x 15' x 3"	15' x 15' x 3"	15' x 15' x 3"

\* ALL THESE PLANTS TO BE LOCATED OUT OF REVEGETATION AREAS & OUT OF RIGHT  
FROM STREET RIGHT OF WAYS.

## SCOTTSDALE LANDSCAPE NOTES:

COLORFUL, DROUGHT-TOLERANT PLANT MATERIAL from DWR PLANT LIST TO BE USED IN ALL STREET FRONTAGES.

ALL LANDSCAPE AREAS TO BE WATERED WITH AN AUTOMATED UNDERGROUND IRRIGATION SYSTEM. PLANTING BEDS TO BE WATERED W/ DRIP IRRIGATION.

TREES, SHRUBS, & EDGE OF GROUND COVER SHALL NOT EXCEED 7'-0" IN ANY ONE DIRECTION.

A MINIMUM OF 50% OF THE REQUIRED TREES SHALL BE MATURE (24" BOX).

SALVAGED TREES & CACTUS TO BE TRANSPLANTED BACK ONTO THE SITE. REVEGETATED AREAS MUST COMPLY WITH THE ZONING ORDINANCE (10.501A)

ALL PLANTED & REVEGETATED areas shall be covered with the natural salvage desert soil with all ESLO areas viewable from Public Street right of Ways.

# Thompson Peak

## OFFICES

### Scottsdale, Arizona

## MAINTENANCE NOTE

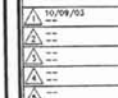
ALL LANDSCAPE AREAS SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN, WEED-FREE CONDITION. MAINTENANCE FOR THIS PROJECT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.



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Landscape Architects  
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Thompson Peak  
Offices  
Scottsdale, Arizona  
10/09/03

L1

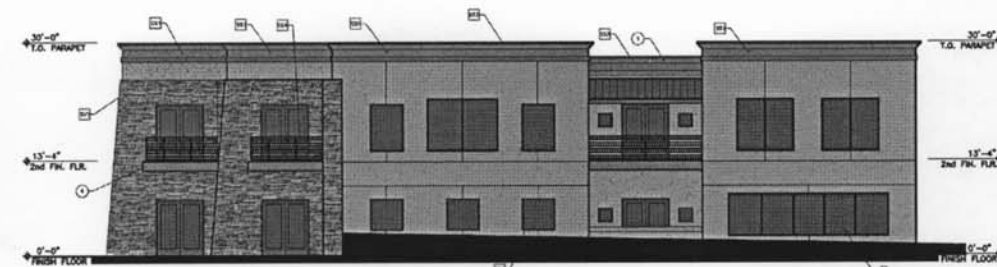


## CONCEPTUAL LANDSCAPE PLAN

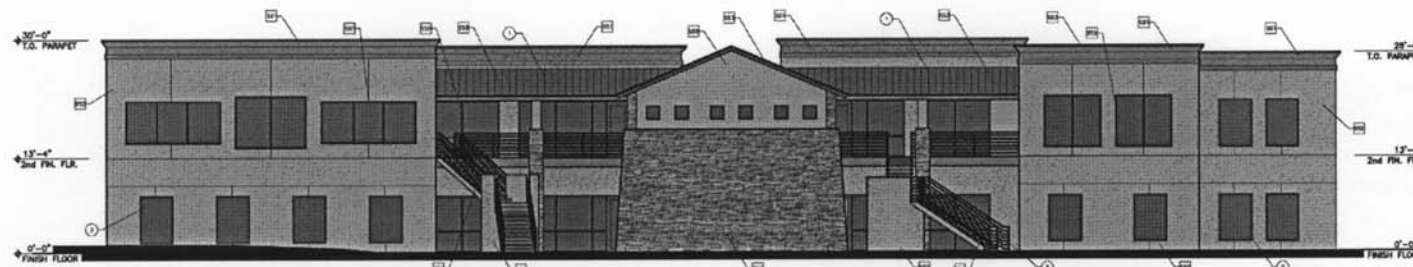
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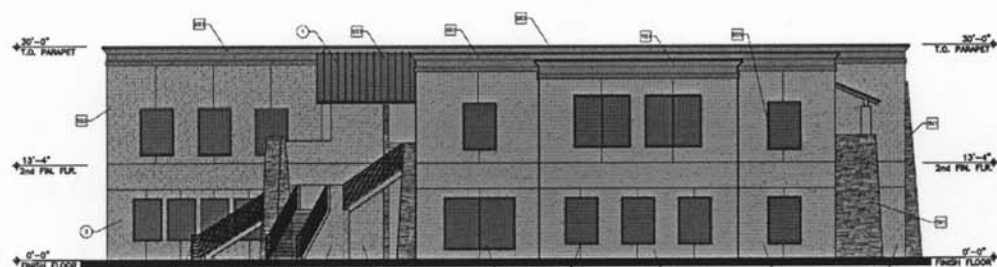
EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

# Finish Legend

SS-1	ENVIRONMENTAL STAINLESS STEEL SS-1 FINISH COLOR: SS-1 - COUCH HOUSE BROWN
SS-2	ENVIRONMENTAL STAINLESS STEEL SS-2 FINISH COLOR: SS-2 - COUCH HOUSE BROWN
SS-3	STONE VENEER - WALSH SOUTH LAKESIDE (SUBJECT) STONE PRODUCTS CORPORATION - NAPL, CA
SS-4	METAL ROOF AND FLASHING KORADY INC. 12" GUT STANDING SEAM ROOF - WEATHERED COPPER
SS-5	TUBE STEEL HAND RAILING SS-5 FINISH COLOR: SS-5 - FOREST BLACK
SS-6	DOOR, DOOR FRAMES, AND WINDOW FRAMES WESTERN INTERMEDIATE MATERIALS - BROWN ANODIZED

## Keynotes

1. STANDING SEAM METAL ROOF PANELS
2. TUBE STEEL HANDRAIL
3. ALUMINUM FRAME WINDOW WITH BRONZE TINTED GLAZING
4. METAL FASCIA - COLOR TO MATCH SS-1



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Offices @  
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Scale  
1/8" = 1'-0"  
1'-0" 10'-0"



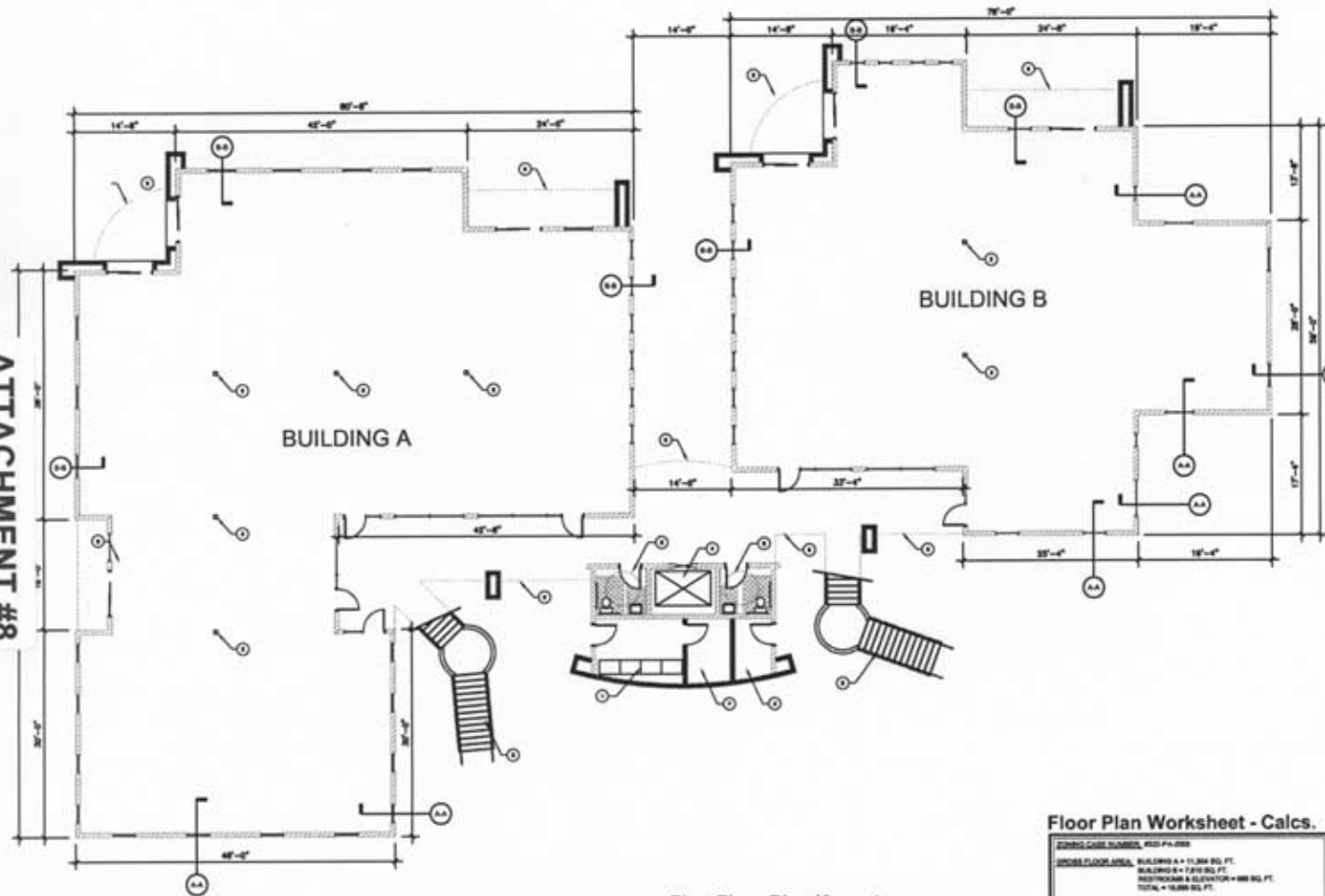
PERSPECTIVE

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BUILDING A

BUILDING B

## First Floor Plan Keynotes

1. SEE LOCATION
2. WITH TUB COLUMN
3. FIRE RISK ROOM
4. ELEVATOR
5. STAIRS
6. SECOND FLOOR BALCONY ABOVE
7. ELEVATOR EQUIPMENT ROOM
8. RESTROOM

## Floor Plan Worksheet - Calcs.

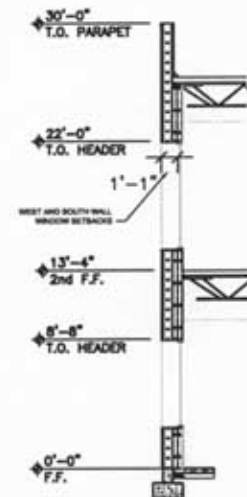
SHEET CASE NUMBER: 1000-PA-000

GRADE FLOOR AREA: BUILDING A = 11,000 SQ. FT.  
 BUILDING B = 7,000 SQ. FT.  
 RESTROOM & ELEVATOR = 800 SQ. FT.  
 TOTAL = 18,800 SQ. FT.

NET FLOOR AREA: 16,000 SQ. FT.

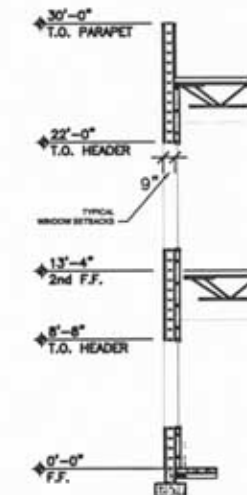
PARKING CALCULATIONS: 1 PER 300 S.F. VEHICLE STORAGE &amp; RESTROOMS

REQUIRED PARKING SPACES:  
 16,000 S.F. / 300 = 53.33 SPACES, PLUS 1 VAN ACCESSIBLE AND 2 ACCESSIBLE SPACES.  
 PROVIDED PARKING SPACES:  
 54 SPACES, INCLUDING 1 VAN ACCESSIBLE AND 2 ACCESSIBLE SPACES.  
 REQUIRED BICYCLE PARKING:  
 1 BICYCLE SPACE PER 15 REQUIRED VEHICLE PARKING SPACES.  
 54 / 15 = 3.6 REQUIRED BICYCLE PARKING SPACES.  
 PROVIDED BICYCLE PARKING:  
 4 BICYCLE PARKING SPACES.



Section A-A

14' x 7'0"



Section B-B

14' x 7'0"

First Floor Plan  
14' x 7'0"

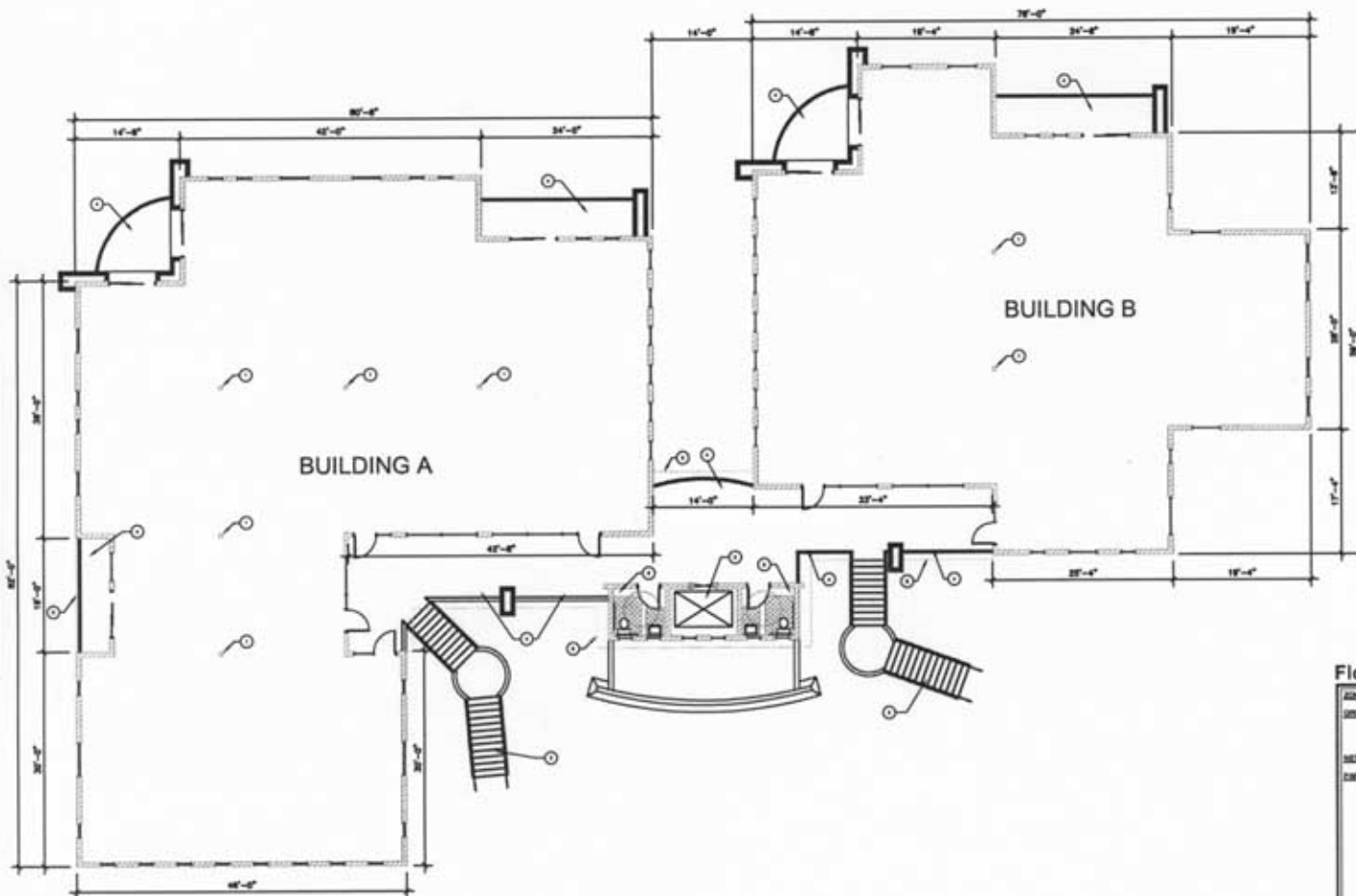
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A2.1

First Floor Plan



## Second Floor Plan Keynotes

1. METAL TUBE COLUMN
2. ELEVATOR
3. STAIR
4. BALCONY WITH RAILING
5. RESTROOM
6. COVERED WALK

## Floor Plan Worksheet - Calcs.

**GENERAL NOTES:** SEE PLAN SHEET 100-PA-000

**GROSS FLOOR AREA:** BUILDING A = 11,000 SQ. FT.  
BUILDING B = 7,000 SQ. FT.  
RESTROOM & ELEVATOR = 500 SQ. FT.  
TOTAL = 18,500 SQ. FT.

**NET FLOOR AREA:** 16,000 SQ. FT.

**COVERED CALCULATIONS:** 1 PER 300 S.F. (EXCLUDE STORAGE & RESTROOMS)

**REQUIRED PARKING SPACES:**  
18,500 S.F. / 300 = 61.7 SPACES, PLUS 1 VAN  
ACCESSIBLE AND 1 ACCESSIBLE SPACE

**PROVIDED PARKING SPACES:**  
60 SPACES, INCLUDING 1 VAN  
ACCESSIBLE AND 1 ACCESSIBLE SPACE

**REQUIRED BICYCLE PARKING:**  
1 BICYCLE SPACE PER 10 REQUIRED VEHICULAR PARKING SPACES  
60 / 10 = 6 REQUIRED BICYCLE PARKING SPACES

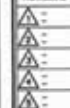
**PROVIDED BICYCLE PARKING:**  
6 BICYCLE PARKING SPACES



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Revisions



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**A2.2**

Second Floor Plan



of -  
INVENTORY/  
SALVAGE PLAN